



TOWN OF OCCOQUAN

Town Hall, 314 Mill Street, Occoquan, VA 22125
www.occoquanva.gov | info@occoquanva.gov | (703) 491-1918

ARCHITECTURAL REVIEW BOARD MEETING

September 22, 2026 | 7:30 p.m.

1. Call to Order
2. Citizen Comments
3. Approval of Minutes
 - a. July 28, 2026 Meeting Minutes *pg. 2*
4. Exterior Elevation Applications
 - a. ARB2026-013 Application 206 Commerce Street (Exterior Renovations) *pg. 3*
 - b. ARB2026-014 Application 413 Mill Street (Roof & Windows) *pg. 19*
5. Action Items
 - a. Resignation of Jennifer Shown from the Board *pg. 28*
6. Reports
 - a. Town Council Report
 - b. Planning Commission Report
 - c. Chair Report
 - d. Sign and COA Report *pg.31*
7. Adjournment

Michele White
Chair, Architectural Review Board



TOWN OF OCCOQUAN

ARCHITECTURAL REVIEW BOARD

Agenda Communication

3. Approval of Minutes	Meeting Date: September 22, 2026
3A: Request to Approve July 28, 2026 Minutes	

Attachments: a. To be provided

Submitted by: Jordan Sanders
Secretary

Explanation and Summary:

This is a request to approve the meeting minutes from July 28, 2026.

Proposed/Suggested Motion:

"I move to approve the meeting minutes from July 28, 2026, as presented."

OR

Other action the Architectural Review Board deems appropriate.



TOWN OF OCCOQUAN

ARCHITECTURAL REVIEW BOARD

Agenda Communication

4. Exterior Elevation Applications	Meeting Date: September 22, 2026
4A: ARB2026-013 Application 206 Commerce St/205 Center Lane (Exterior Renovations)	

Attachments: a. ARB2026-013 Application 206/ 205 Center Lane Commerce St (Exterior Renovations)

Submitted by:

Megan Lubash
Town Clerk

Explanation and Summary:

This is an Architectural Review Board (ARB) Exterior Elevation Application to repair damaged siding and enlarge the second story of the house the elements on the exterior of the building.

Relevant Sections of ARB Guidelines: The proposed work is covered under Sections 2, 3, 4, 6, 7, 8, 13, 14 & 16 of the ARB Guidelines, which reads as follows:

2. Additions

An exterior addition to a historic building is acceptable with three suggestions strongly recommended:

- a) Locating the addition so as not to be conspicuous.
- b) Limiting the size and scale of the addition in order not to compromise the integrity of the building or any structures surrounding it.
- c) Using materials compatible with the historic building and the other buildings nearby.

The Occoquan Code requires a building permit when constructing, enlarging, altering, repairing or demolishing a building or structure.

3. Awnings

The use of attractive awnings and canopies is encouraged in the Historic District. Fabric must be limited to canvas or similar cloth. Vinyl, plastic, and aluminum are not compatible materials for use in the Historic District. The color should be in the palette of historic colors. See Colors.

Words on your awning are considered signs and must be preapproved by the ARB.

6. Color

Exterior paint colors must be appropriate for the architectural period of the building. Colors of a building should take into consideration roof and foundation colors. It is encouraged that when rehabilitating Craftsman or Victorian style homes to use period-appropriate color pairings. In addition, for rehabilitation or replacement of windows, "earth tone" colors are appropriate.

The book *A Century of Color* is an excellent reference. Another resource is the following color chart which is taken from the website *Archive.org* and the document “Every Man His Own Painter!” which was originally written in 1872.

Note that none of these colors are modern paint chips. Use these colors as a guide as you pick out your exact paint colors. Most popular exterior paint brands now have historic palettes available.

Painting of brick or stone is not recommended. Existing paint may be removed if done in a manner which will not damage the surface of the structure. Methods such as sandblasting, chemical application and heat guns tend to damage the structure.

7. Doorways

The placement and proportions of windows and doors are of paramount importance in achieving an historic reproduction. Original doors should be repaired and rehabilitated if possible. Storm doors must allow visibility of the original door. Sliding glass doors are not considered to be in keeping with the character and architectural detail of the Old and Historic District and are prohibited if visible from the street (waterfront is also considered a street).

Style of doors from:

18th Century: Six-panel (cross and open Bible); small glass light above door Solid wood or stone header over top of door 1775-1800 had very elaborate doorways, with sidelights and fanlights above front door and columns beside door or entry porch

19th Century: Wide variety of elaborate doorways Stained glass in doors Double doors Columns

On storefronts, doors may be constructed of painted wood or wood-look-alike, and may include large areas of glass. Paneled or glazed paneled doors are appropriate for residential buildings. Unfinished aluminum is not recommended. Security and fire- resistant updates to doors are welcomed.

8. Fences and Walls

If fences and walls are to be used as screens or accent elements, the design, colors, and choice of materials must be consistent with the design and materials of the building. Landscaping can be used in conjunction with these structures to strengthen their screening properties. Chain link, stockade, bamboo, vinyl, and snow fencing are not considered appropriate. Composite fencing can be considered appropriate if it has historic features.

13. Materials

Siding – Original siding materials should be repaired to retain the original character of the surface rather than removed or covered. Often this is not possible so a look a-like and modern material will be sufficient as long as all efforts are made to maintain the same appearance.

Exterior trim – Dentil molding and crown molding were simple in the early part of the 18th Century, and elaborate in the later with columns added. 18th Century trim consisted of dentil and crown molding on the fascia boards, corner moldings, and lentils above windows. Lentils

were of brick, stone, or a solid piece of wood. Brick lentils were laid to form an arch, either a “jack” arch or a “segmented” arch. The segmented arch was curved rather than straight. In the 19th Century trim was elaborate. The mid- to later part of the 19th Century has often been called the “Gingerbread Age” with immigrant skilled laborers providing elaborate trim on fascia boards, soffits, rake boards, windows, doors, and porches at low costs. Brackets attached to the soffits were commonplace.

14. Porches

Porches are the welcoming hand to any structure, sometimes covered, sometimes not. Porches have played an important role in many Historic Districts, including Occoquan, and consist of many styles over the years. Historically porches were made of wood and/or masonry. Wood is still preferred in the Historic District but a realistic woodgrain look is acceptable.

New or modified porches in the Historic District should reflect the styles and appearance of existing porches in the Historic District as to scale and aesthetics. When modifying a porch, the property owner must maintain or enlarge the existing dimensions of the porch and must match or retain the profiles of the porch’s elements (such as column bases, shafts and capitals, balusters, and ornamental millwork). Existing open-air front porches on primary elevations must not be enclosed. Any building with an existing primary-elevation porch should not have an additional porch created. For contributing structures, a ramp for ADA access should work with the existing porch rather than alter the features of the structure.

16. Roof Pitch and Material

Pitch - The pitch of a roof must be a minimum of 8/12 except on a hip roof, mansard, or gambrel (barn). On a flat roof, a parapet with trim should be erected above the roofline (such as a store or Italianate Victorian).

Materials – Cedar shingles were widely used during the 18th Century (approximately 90 percent), and the remainder of the structures most often had oak shingle roofs. Shakes were used on outbuildings only. During the 19th Century, roofs were standing ridge (metal) or slate shingles. Modern composition shingles must be chosen in colors to match the color of weathered historic roofing materials.

Wherever pressed tin or standing seam style roofs exist an effort should be made to preserve and/or refurbish. The same roof style must be extended on any addition to buildings with existing pressed tin roofs.

Staff Recommendation: Make a determination based off the proposed work’s compliance with the ARB Guidelines.

Any denial of an application for a Certificate of Appropriateness must include the reason for denial and a reference to the relevant ARB guideline(s).

Proposed/Suggested Motion:

“I move to approve ARB2026-013 Application 206 Commerce St /205 Center Lane (Exterior Renovations) as is.”

OR

"I move to approve ARB2026-013 Application 206 Commerce St/205 Center Lane (Exterior Renovations) with the following condition(s):

_____." OR

"I move to not approve ARB2026-013 Application 206 Commerce St/205 Center Lane (Exterior Renovations) for the following reason:

_____." OR

Other action the Architectural Review Board deems appropriate.



TOWN OF OCCOQUAN ARCHITECTURAL REVIEW BOARD

APPLICATION FOR EXTERIOR ELEVATIONS Commercial and Residential Exterior Improvements Within the Old and Historic District

All exterior changes and modifications to the exterior of structures located within the Old and Historic District must be reviewed by the Architectural Review Board (ARB) for issuance of a Certificate of Appropriateness (COA) prior to the work being performed. Applicants should review the Architectural Review Board Design Guidelines for guidance of appropriate colors, materials, designs, etc.

The ARB meets regularly on the fourth Tuesday of the month at 7:30 p.m. at Town Hall. Applications must be filed at Town Hall by close of business on the Tuesday of the week prior to the meeting. Applicants must submit supplemental materials at time of application. Additional paint and material samples, product brochures and spec sheets, renderings, architectural drawings, photographs of the structure or other supplemental materials may be requested by the ARB prior to the hearing. The applicant or a representative must be present at the meeting during which the ARB will review the application. All fees must be paid prior to scheduling for ARB consideration.

Section I: Applicant and Owner Information

Brian Beck

Applicant Name

FXBG Construction LLC

Business Name (if Applicable)

Address (No., City, Address, Zip) + PO Box

Email

Phone Number

Kathleen G Walsh

Owner Name

Address (No., City, Address, Zip) + PO Box

Email

Phone Number

☐ Same as Applicant Information

Section II: Property Information

Project Address: 205 Center Ln, Occoquan, Va 22125

Type of Use (Select One):

☒ Residential ☐ Commercial ☐ Mixed-Use

☐ Other: _____

Structure Style: **Vernacular (Wood Frame)**

Exterior Elevation Type (Select all that apply):

☒ Improvement/Repair to Existing Structure

☐ New Development/In-Fill or New Accessory Structure

☐ Demolition

☐ Other: _____

Brief Description of Project: **Repairs to Damaged Siding, Enlarging Second Story**

Notice to Applicant/Property Owner: Prior to construction and/or installation of improvements, it is your responsibility to determine the existence of any restrictive covenants and/or deed restrictions governing property improvements. Other permits or approvals may be required from the Town or other agencies such as Zoning Compliance Review and/or Building Permits, among others. It is your responsibility to comply with all applicable regulations and to determine any other applicable private restrictions.

Applicant Signature

Date Submitted

Section III: Application Check List	
☐ Paint Sample (<i>identify which Architectural feature samples are included</i>) List:	☐ Material Samples (<i>identify which Architectural feature samples are included</i>) List:
☐ Spec Sheets/Product Brochures: (<i>identify which Architectural feature spec sheets are included</i>) List:	☒ Photo of existing structure(s) ☒ Schematic(s)/Rendering(s) illustrating proposed improvement(s) on structure(s) ☒ Architectural Plans
☐ Other (List):	
Note to Applicants: Applicants are responsible for providing supplemental materials for proposed improvements. Applicants are responsible for ensuring proposed improvements are based on requirements listed in the Architectural Review Design Guidelines (as amended) and included under § 157.179 of the Town Code regarding matters to be considered by the ARB. At the time of the ARB meeting, the ARB may request additional information or documentation in order to complete a thorough review of the application.	
Section IV: ARB Certificate Of Approval (COA)	
Date to Architectural Review Board: 9/22/2026	☐ COA Issued ☐ COA Denied Signature (ARB Chair or Designee) Date
Section V: TOWN STAFF ONLY	
Application Fee: 75.00 Date Paid: 8/27/2026 Rcpt No./Check No.: square	ARB APPLICATION NO.: ARB2026-013
Plan Reference Numbers: ☐ Zoning Approval _____ ☐ Site Plan _____ ☐ SUP _____ ☐ Other _____	Notes:

CONTINUE TO NEXT SECTION



TOWN OF OCCOQUAN ARCHITECTURAL REVIEW BOARD

APPLICATION FOR EXTERIOR ELEVATIONS SUPPLEMENTAL APPLICATION

Section V: Supplemental Application For New Builds, Improvements to Existing Structures and Combination Projects – Commercial, Residential and Mixed-Use

Project Address: 206 Commerce Street

ARB Application No.: ARB2026-013

Complete only the sections below that are applicable to the application. More information on each section is included in the ARB Design Guidelines available on the Town's website at www.occoquanva.gov. Note: Words included on any improvements constitute a sign and are not part of the Exterior Elevation review process; a separate sign application process is required.

1. Type of Improvement(s): ☐ New Build ☒ Improvements to Existing Structure(s) ☐ Combination

2. Additions and New Builds

☐ Accessory Structure: Size: ~652SF Location relative to Main Structure: Rear Corner of Lot

☐ New Build: Size: N/A Location on site: N/A

General Description/Use of Structure: Maintains Same Footprint as Existing Structure
The Roofline is being raised to allow for more usable space on 2nd story.

New Roof Shape, Style, Siding Shape & Style to Match Pre-Existing

☒ Rendering required ☒ Plan showing location on site required ☒ Architectural Plans required
Complete applicable sections below.

3. Awnings ☒ New ☐ Repair/Replacement

Existing Material, Color and Design: N/A

Proposed Material (canvas or similar material): Standing Seam Color: N/A

☐ Sample Included (Type):

☐ Spec Sheet Included ☒ Photo Included

4. Exterior Walls on Structure ☐ New ☒ Repair/Replacement

Existing Material, Color and Pattern:

Proposed Material: ☐ Brick ☒ Siding ☐ Other: ☐ Paint ☒ Material Replacement

Material Type: Fiber Cement Color: Match Existing Pattern: 6" (Lapped Lap Style)

☐ Mortar: Color N/A Joint Pattern N/A

☐ Sample Included (Type):

☐ Spec Sheet Included ☒ Photo Included

5. Windows ☒ New ☐ Repair/ReplacementExisting Material, Color and Pattern: Double Hung 6 over 6 White, Picture Windows w/ No GridsProposed Material: Double Hung 6 Over 6 and Picture Grid Profile: ContouredGrid Color: White Shutter Color: Black Trim Color: WhiteLocation (identify location of windows and types – provide exhibit): See Plans☐ Sample Included (Type): _____☐ Spec Sheet Included ☒ Photo Included**6. Doors** ☐ New ☒ Repair/ReplacementExisting Material, Color and Pattern: Paneled (No Glass), Blue/GrayProposed Material: Fiberglass/Steel Style: Paneled ☐ Window (Style): N/ADoor Color: Light Blue / Gray Trim Color: White Window Color: WhiteLocation(s) (identify location of doors and types – provide exhibit): See Plans☐ Sample Included (Type): _____☐ Spec Sheet Included ☒ Photo Included**7. Roofs and Gutters** ☐ New ☒ Repair/ReplacementExisting Material, Color and Pattern: Weathered Wood, Architectural ShinglesProposed Roof Material: Architectural Shingles Roof Pitch: 8/12Proposed Roof Color and Style: Weathered Wood (Black/Gray)Proposed Gutter Material and Color: WhiteGutter Locations (provide exhibit): Match Existing (See Plan)☐ Sample Included (Type): _____☐ Spec Sheet Included ☒ Photo Included**8. Dormers** ☐ New ☐ Repair/ReplacementExisting Material, Color and Pattern: N/AProposed Material: ~~Double Hung 6 Over 6 and Picture~~ N/A Existing Pitch: N/A New Pitch: N/AProposed Color and Style: N/A Window Color and Style: N/A☐ Sample Included (Type): N/A☐ Spec Sheet Included ☐ Photo Included

9. Fences, Retaining Walls, Foundations, Decks, Porches, Screenings, Patios, Enclosures etc.

☐ New ☐ Repair/Replacement Proposed Structure Type: N/A

Existing Material, Color and Design: N/A Type: N/A

Proposed Material: Double Hung 6 Over 6 and 1 Color/Stain: N/A

Proposed Pattern/Design: N/A Decorative Trim/Hardware: N/A

Mortar Color: N/A Joint Pattern: N/A

Porch/Deck Post(s) Size: N/A Spindle Design and Color: N/A

☐ Sample Included (Type): N/A

☐ Spec Sheet Included ☐ Photo Included

10. Other Exterior Improvements ☐ New ☐ Repair/Replacement

Existing Material, Color and Design: N/A Type: N/A

Existing Material, Color and Design: N/A Type: N/A

Lighting

Light Fixtures: Color Black Style Traditional Placement Adjacent to Doors ☐ Spec Sheet Included

Ramps

ADA Ramps: Color N/A Style N/A Location N/A ☐ Spec Sheet Included

Chimneys

☐ Brick ☐ Stone Color N/A Style N/A Location N/A ☐ Spec Sheet Included

Other

Material: N/A/N/A Color N/A Type N/A Location N/A

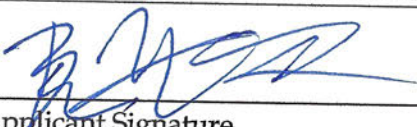
Other

Material: N/A/N/A Color N/A Type N/A Location N/A

Brief Description:

N/A

☐ Spec Sheet Included ☐ Photo Included


Applicant Signature

27 Aug 2015
Date

TOWN STAFF ONLY

Notes:

ARCHITECT

Architextural

208 Brahead DR. - Fredericksburg, VA 22401
Ph (540) 742-3856 email: frank@architextural.com

PROJECT

PROPOSED RENOVATIONS
ACCESSORY DWELLING

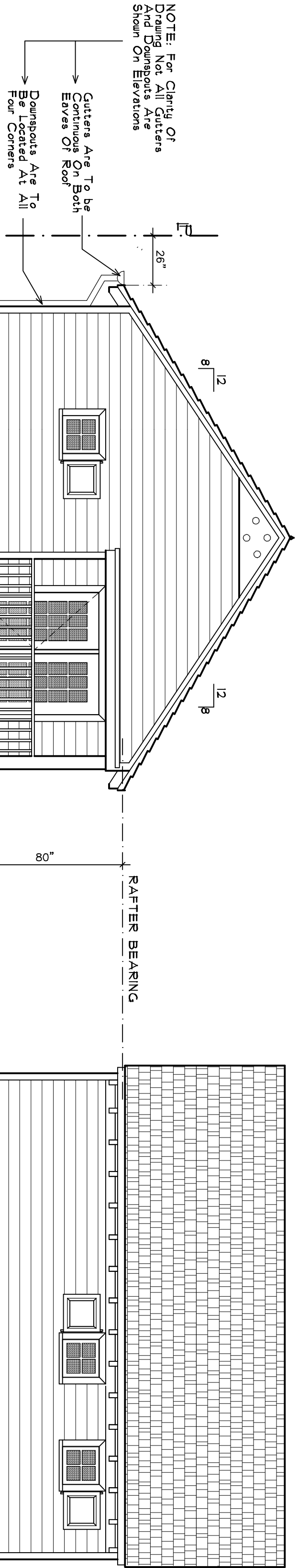
208 Commerce Street
(Accessory Dwelling On Center Lane)
TOWN OF OCCOQUAN
PRINCE WILLIAM COUNTY, VA.

CLIENT

FXBG CONSTRUCTION

P.O. BOX 310
HARTWOOD VA, 22471

COPYRIGHT NOTICE:		
This Drawing Is Copyright Material And May Not Be Reproduced Wholly or Partly Without The Explicit Written Consent of The Architect And/Or The Company, ARCHITEXTURAL		
KEY TO PLAN SYMBOLS		
⬢ = Windows (See Window Schedules) ⊙ = Doors (See Door Schedules) △ = Beams/Headers (See Schedules) ◻ = Room Finish (See Room Finish Schedules) ⬢-D = Indicates Wall Types (See Details)		
RELEASE/ISSUANCE		
Num	Description	Date
01		
REVISIONS		
Num	Description	Date
SHEET TITLE		
SCHEMATIC EXTERIOR ELEVATIONS		
Date: AUG 5, 2024		
Project Number: 2028-07-A		
Sheet Number		
A-5.1		



LEFT ELEVATION (FACES TOWARD COMMERCE STREET)
SCALE: 1/4" = 1'-0"

REAR ELEVATION (FACES SIDE PROPERTY)
SCALE: 1/4" = 1'-0"

KEY TO EXTERIOR ELEMENTS

- | Mark | Description |
|------|---|
| 01 | Stone Veneer on Foundation |
| 02 | Stone Paver Entry Step |
| 03 | Lapped Wood Siding (painted) |
| 04 | PVC Trim (painted) |
| 05 | 1x4 PVC Window/Door Casings (painted) |
| 06 | Solid Fiberglass 4-Panel Door (painted) |
| 07 | Entry Canopy (Copper/Prefin Standing Seam) |
| 08 | Solid Wood Panel Shutters |
| 09 | Metal Lined Wood Window Boxes (painted) |
| 10 | Finished Wood Column (painted) |
| 11 | Railings (Prefin Alum) |
| 12 | Solid Wood Rafter Outriggers (painted) |
| 13 | Pigeon Hole Gable Vant (painted) |
| 14 | Half Round Aluminum Gutters (Prefin Alum) |
| 15 | Full Round Aluminum Downspouts (Prefin Alum) |
| 16 | Window Child Divided Light (Nitin to Exterior of Glass) |
| 17 | Black Metal Railing At Entry Door (Optional) |

ENTRY ELEVATION (Front)
SCALE: 1/4" = 1'-0"

RIGHT ELEVATION (Center Lane)
SCALE: 1/4" = 1'-0"

ARCHITECT

Architextural

208 Brethead DR. – Frederickburg, VA 22401
Ph (540) 742-8838 email:frank@architextural.com

PROJECT

PROPOSED RENOVATIONS

ACCESSORY DWELLING

208 Commerce Street
(Accessory Dwelling On Center Lane)
TOWN OF OCCOCHAN
PRINCE WILLIAM COUNTY, VA.

CLIENT

FXBG CONSTRUCTION

P.O. BOX 310
HARTWOOD VA. 22471

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KEY TO PLAN SYMBOLS

- [A] = Windows (See Window Schedules)
- [D] = Doors (See Door Schedules)
- [I] = Beams/Headers (See Schedules)
- [D] = Room Finish (See Room Finish Schedules)
- [UT-O] = Indicates Wall Types (See Details)

RELEASE /ISSUANCE

Num	Description	Date
01	Version 2.0 Plan Revisions	08/10/2024

REVISIONS

Num	Description	Date
(Rev 01)		

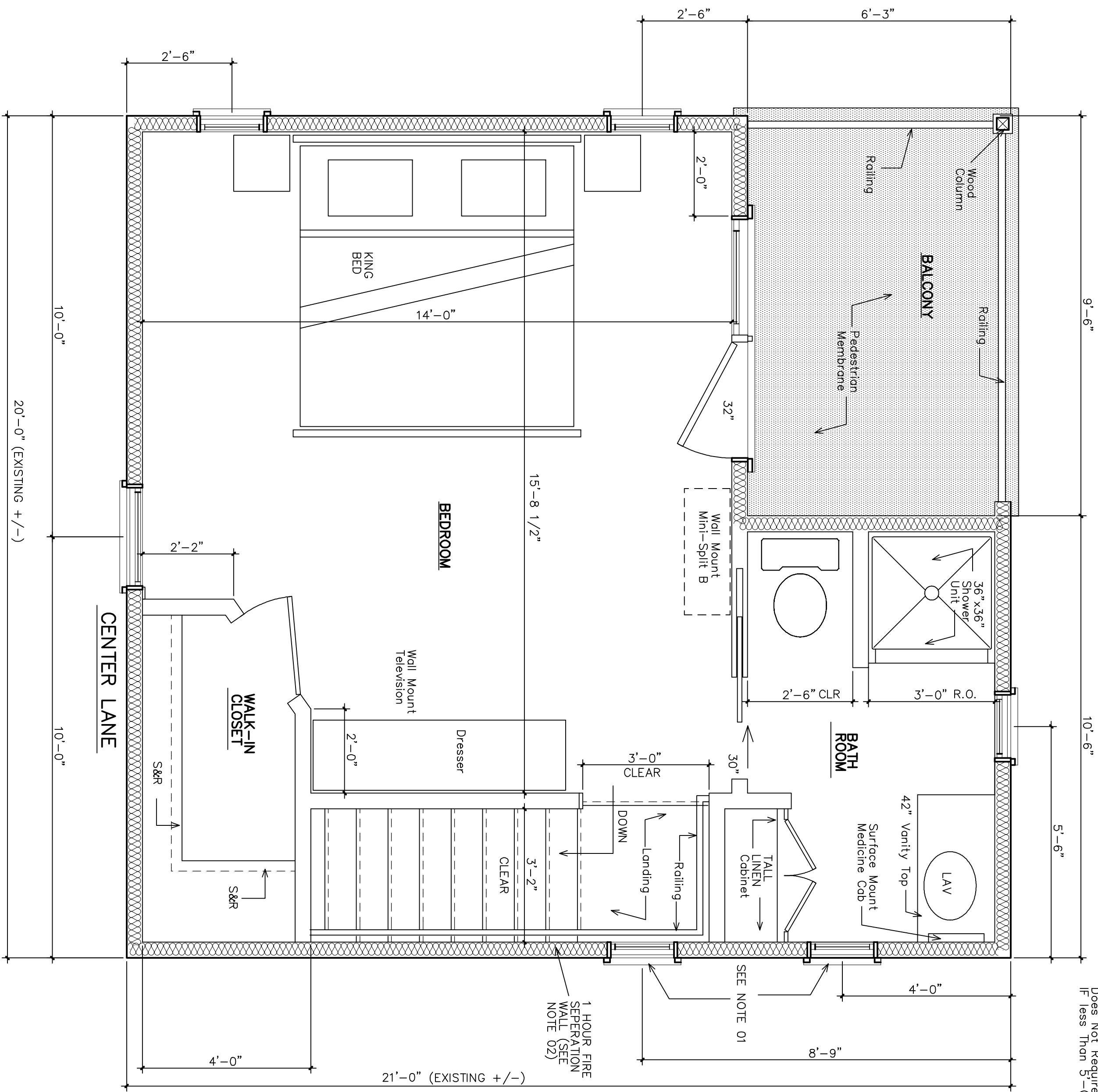
SHEET TITLE

1st/2nd FLOOR Plans
(Schematics)

Date: JUL Y 17, 2026

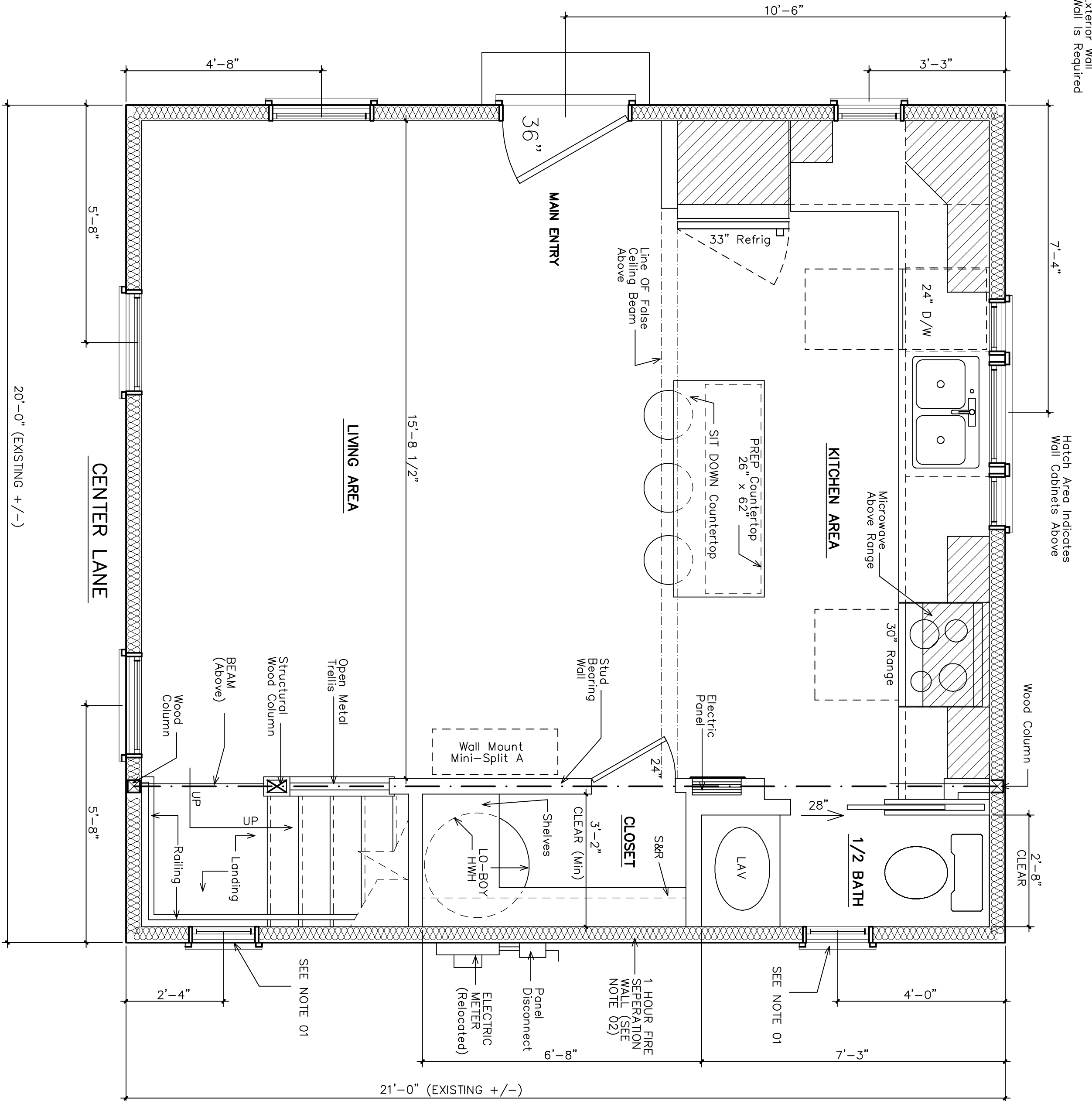
Project Number: 2026-07-A

Sheet Number
A-1.1
(VERSION 2.0)



NOTE 01:
IF THIS WALL LINE IS GREATER THAN 3'-0" OFF OF ADJACENT PROPERTY LINE, THEN VIRGINIA RESIDENTIAL CODE WILL PERMIT LIMITED WINDOWS, NOT PERMITTED IF LESS THAN 3'-0" WINDOWS ARE NOT PERMITTED

NOTE 02:
IF THIS WALL LINE IS GREATER THAN 5'-0" OFF OF ADJACENT PROPERTY LINE, THEN VIRGINIA RESIDENTIAL CODE WILL REQUIRE FIRE RATING OF EXTERIOR WALL IF LESS THAN 5'-0", THEN 1 HOUR WALL IS REQUIRED



2nd FLOOR PLAN SCALE: 1/2" = 1'-0"

1st FLOOR PLAN SCALE: 1/2" = 1'-0"

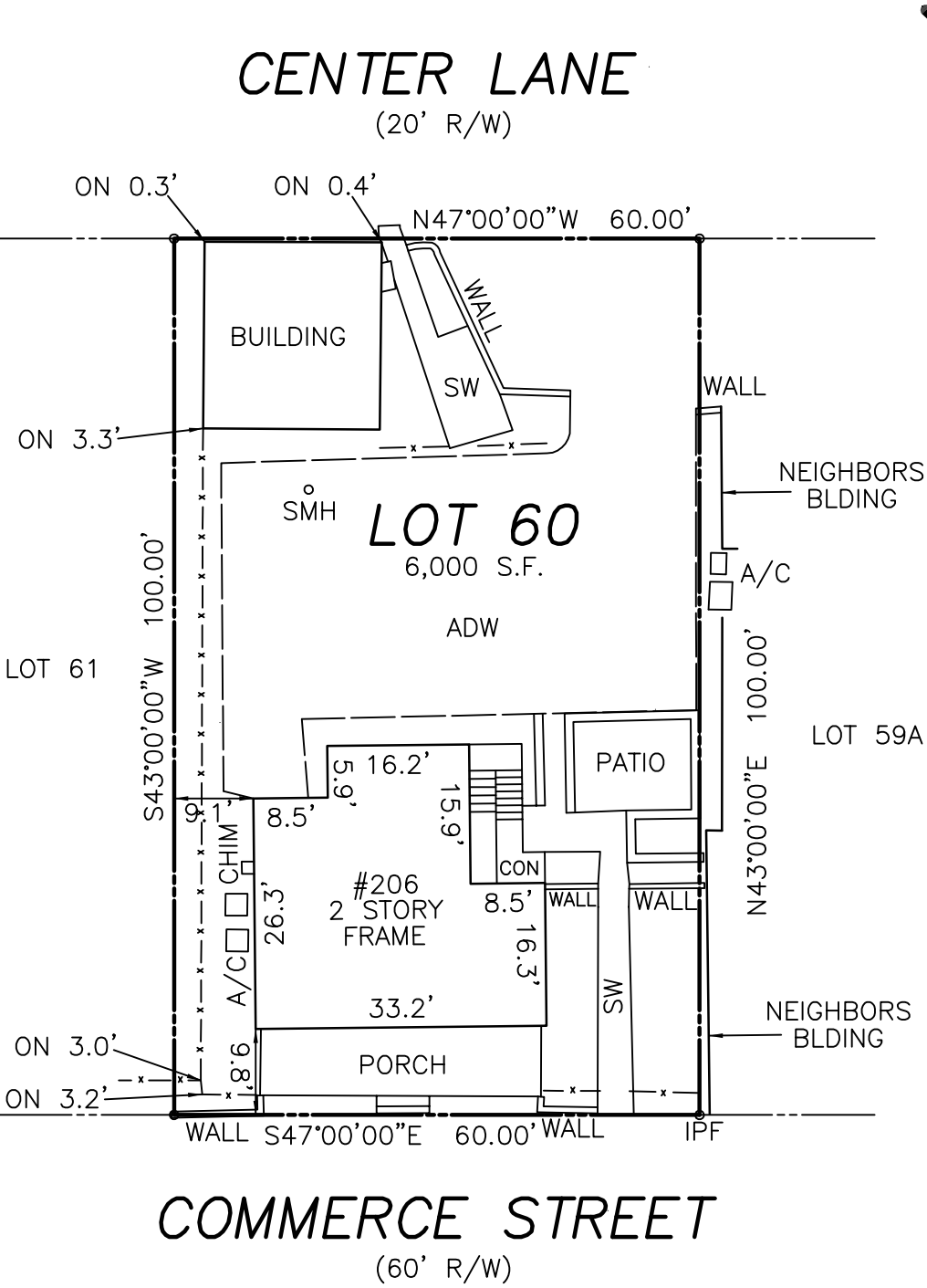
LINE TYPES:

- BOUNDARY LINE
- EASEMENT
- DRIVEWAY/ROAD
- FENCING
- OVERHEAD WIRE
- STRUCTURE

LEGEND:

- ADW-ASPHALT DRIVEWAY
- A/C-AIR CONDITIONING
- A/W-AREAWAY
- B.E.-BASEMENT ENTRANCE
- BRL-BUILDING RESTRICTION LINE
- CDW-CONCRETE DRIVEWAY
- CHIM-CHIMNEY
- CO-CLEANOUT
- CONC.-CONCRETE
- D.H.S.- DRILL HOLE SET
- ER-ELECTRICIAL RISER
- FIOS-FIBER OPTICS UTILITY BOX
- GDW-GRAVEL DRIVEWAY
- IPF-IRON PIPE FOUND
- IRF-IRON ROD FOUND
- IRS- IRON ROD SET
- MH-MANHOLE
- O.H.-OVERHANG
- PAD-CONCRETE PAD
- PP-POWER POLE

- PPF-PINCHED PIPE FOUND
- R/W-RIGHT OF WAY
- SMH-SANITARY MANHOLE
- ST.-STOOP
- TELE-TELEPHONE PEDESTAL
- TR/TRANS-TRANSFORMER
- W.-WALK
- WM-WATER METER
- WV-WATER VALVE
- W.W.-WINDOW WELL



LOCATION SURVEY

LOT 60
#206 COMMERCE STREET
PRINCE WILLIAM COUNTY, VIRGINIA
SCALE 1"=20' DATE 04-30-26



- 1.) NO TITLE REPORT FURNISHED.
- 2.) PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 3.) FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE AND DO NOT CERTIFY AS TO OWNERSHIP.

MERESTONE LAND SURVEYING, PLLC.

LAND SURVEYING & G.P.S. SERVICES
MERESTONE LAND SURVEYING, PLLC
1229 GARRISONVILLE ROAD SUITE 105 STAFFORD, VA 22556
(540)752-9197 FAX (540)752-9198











TOWN OF OCCOQUAN

ARCHITECTURAL REVIEW BOARD

Agenda Communication

4. Exterior Elevation Applications	Meeting Date: September 22, 2026
4B: ARB2026-014 Application 413 Mill St (Roof & Windows)	

Attachments: a. ARB2026-014 Application 413 Mill St (Roof & Windows)

Submitted by: Megan Lubash
Town Clerk

Explanation and Summary:

This is an Architectural Review Board (ARB) Exterior Elevation Application to repair the roof and replace the windows on the exterior of the building.

Relevant Sections of ARB Guidelines: The proposed work is covered under Sections 6, 13, 16 & 24 of the ARB Guidelines, which reads as follows:

6. Color

Exterior paint colors must be appropriate for the architectural period of the building. Colors of a building should take into consideration roof and foundation colors. It is encouraged that when rehabilitating Craftsman or Victorian style homes to use period-appropriate color pairings. In addition, for rehabilitation or replacement of windows, "earth tone" colors are appropriate.

The book *A Century of Color* is an excellent reference. Another resource is the following color chart which is taken from the website Archive.org and the document "Every Man His Own Painter!" which was originally written in 1872.

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Exterior trim – Dentil molding and crown molding were simple in the early part of the 18th Century, and elaborate in the later with columns added. 18th Century trim consisted of dentil and crown molding on the fascia boards, corner moldings, and lentils above windows. Lentils were of brick, stone, or a solid piece of wood. Brick lentils were laid to form an arch, either a "jack" arch or a "segmented" arch. The segmented arch was curved rather than straight.

In the 19th Century trim was elaborate. The mid- to later part of the 19th Century has often been called the “Gingerbread Age” with immigrant skilled laborers providing elaborate trim on fascia boards, soffits, rake boards, windows, doors, and porches at low costs. Brackets attached to the soffits were commonplace.

16. Roof Pitch and Material

Pitch - The pitch of a roof must be a minimum of 8/12 except on a hip roof, mansard, or gambrel (barn). On a flat roof, a parapet with trim should be erected above the roofline (such as a store or Italianate Victorian).

Materials – Cedar shingles were widely used during the 18th Century (approximately 90 percent), and the remainder of the structures most often had oak shingle roofs. Shakes were used on outbuildings only. During the 19th Century, roofs were standing ridge (metal) or slate shingles. Modern composition shingles must be chosen in colors to match the color of weathered historic roofing materials.

Wherever pressed tin or standing seam style roofs exist an effort should be made to preserve and/or refurbish. The same roof style must be extended on any addition to buildings with existing pressed tin roofs.

24. Windows

The placement and proportions of windows and doors are of paramount importance in achieving a historic reproduction. Most glass manufacturers 125 years ago did not have the capability to create large sheets of glass. That’s why old window sashes are comprised of a collection of smaller pieces of glass separated and held in place by muntin bars.

Traditional windows have depth and a windowsill, as well as true divided lights or interior and exterior fixed muntin with internal spacers to reference traditional designs. No mirrored or tinted glass.

The architecture style of Craftsman homes and Victorian homes often used colors for muntin and sashes. That is encouraged using the earth tone colors.

In new construction simulated true divided light windows in the appropriate style and color (earth tones) must be used.

Storm windows must not be used unless the design allows the original window to show through.

18th Century:

Small panes; six over six window lights and up 1775-1800 arched at top, shutters Proportions – one-half the width of the height Placement – Lined up one above the other and over doorways Headers – Wood, solid beam; stone; brick; jack arches or segmented arches; lighter brick often used around windows

19th Century

Windows in the early 19th Century were usually six over six. The emergence of styles such as neo-Gothic, Italianate and Queen Anne led the use of two over two, one over one, and in Queen Anne a multiplicity of combinations. By the end of the 19th Century, two over two dominated and this is the pattern most often seen in 19th Century houses in Occoquan Proportions – Usually, one-half width of height Headers – Elaborate, eyebrow, segmented and jack arches

Staff Recommendation: Make a determination based off the proposed work's compliance with the ARB Guidelines.

Any denial of an application for a Certificate of Appropriateness must include the reason for denial and a reference to the relevant ARB guideline(s).

Proposed/Suggested Motion:

"I move to approve ARB2026-014 Application 413 Mill St (Roof & Windows) as is."

OR

"I move to approve ARB2026-014 Application 413 Mill St (Roof & Windows)

with the following condition(s): _____."

OR

"I move to not approve ARB2026-014 Application 413 Mill St (Roof & Windows)

for the following reason: _____."

OR

Other action the Architectural Review Board deems appropriate.



TOWN OF OCCOQUAN ARCHITECTURAL REVIEW BOARD

APPLICATION FOR EXTERIOR ELEVATIONS Commercial and Residential Exterior Improvements Within the Old and Historic District

All exterior changes and modifications to the exterior of structures located within the [Old and Historic District](#) must be reviewed by the Architectural Review Board (ARB) for issuance of a Certificate of Appropriateness (COA) prior to the work being performed. Applicants should review the [Architectural Review Board Design Guidelines](#) for guidance of appropriate colors, materials, designs, etc.

The ARB meets regularly on the fourth Tuesday of the month at 7:30 p.m. at Town Hall. Applications must be filed at Town Hall by close of business on the Tuesday of the week prior to the meeting. Applicants must submit supplemental materials at time of application. Additional paint and material samples, product brochures and spec sheets, renderings, architectural drawings, photographs of the structure or other supplemental materials may be requested by the ARB prior to the hearing. The applicant or a representative must be present at the meeting during which the ARB will review the application. All fees must be paid prior to scheduling for ARB consideration.

Section I: Applicant and Owner Information	
Applicant Name Business Name (if Applicable) Address (No., City, Address, Zip) + PO Box Email Phone Number	Owner Name Address (No., City, Address, Zip) + PO Box Email Phone Number ☐ Same as Applicant Information
Section II: Property Information	
Project Address: Type of Use (Select One): ☐ Residential ☐ Commercial ☐ Mixed-Use ☐ Other: _____	Structure Style: Exterior Elevation Type (Select all that apply): ☐ Improvement/Repair to Existing Structure ☐ New Development/In-Fill or New Accessory Structure ☐ Demolition ☐ Other: _____
Brief Description of Project:	
Notice to Applicant/Property Owner: Prior to construction and/or installation of improvements, it is your responsibility to determine the existence of any restrictive covenants and/or deed restrictions governing property improvements. Other permits or approvals may be required from the Town or other agencies such as Zoning Compliance Review and/or Building Permits, among others. It is your responsibility to comply with all applicable regulations and to determine any other applicable private restrictions.	
Applicant Signature	Date Submitted

Section III: Application Check List	
☐ Paint Sample (<i>identify which Architectural feature samples are included</i>) List:	☐ Material Samples (<i>identify which Architectural feature samples are included</i>) List:
☐ Spec Sheets/Product Brochures: (<i>identify which Architectural feature spec sheets are included</i>) List:	☐ Photo of existing structure(s) ☐ Schematic(s)/Rendering(s) illustrating proposed improvement(s) on structure(s) ☐ Architectural Plans
☐ Other (List):	
Note to Applicants: Applicants are responsible for providing supplemental materials for proposed improvements. Applicants are responsible for ensuring proposed improvements are based on requirements listed in the Architectural Review Design Guidelines (as amended) and included under § 157.179 of the Town Code regarding matters to be considered by the ARB. At the time of the ARB meeting, the ARB may request additional information or documentation in order to complete a thorough review of the application.	
Section IV: ARB Certificate Of Approval (COA)	
Date to Architectural Review Board: 9/22/2026	☐ COA Issued ☐ COA Denied Signature (ARB Chair or Designee) Date
Section V: TOWN STAFF ONLY	
Application Fee: N/A Date Paid: N/A Rcpt No./Check No.: N/A	ARB APPLICATION NO.: ARB2026-014
Plan Reference Numbers: ☐ Zoning Approval _____ ☐ Site Plan _____ ☐ SUP _____ ☐ Other _____	Notes:

CONTINUE TO NEXT SECTION



TOWN OF OCCOQUAN ARCHITECTURAL REVIEW BOARD

APPLICATION FOR EXTERIOR ELEVATIONS SUPPLEMENTAL APPLICATION

Section V: Supplemental Application For New Builds, Improvements to Existing Structures and Combination Projects – Commercial, Residential and Mixed-Use

Project Address: 413 Mill street

ARB Application No.: ARB2026-014

Complete only the sections below that are applicable to the application. More information on each section is included in the ARB Design Guidelines available on the Town's website at www.occoquanva.gov. Note: Words included on any improvements constitute a sign and are not part of the Exterior Elevation review process; a separate sign application process is required.

1. Type of Improvement(s): ☐ New Build ☒ Improvements to Existing Structure(s) ☐ Combination

2. Additions and New Builds

☐ Accessory Structure: Size: _____ Location relative to Main Structure: _____

☐ New Build: Size: _____ Location on site: _____

General Description/Use of Structure: _____

☐ Rendering required ☐ Plan showing location on site required ☐ Architectural Plans required

Complete applicable sections below.

3. Awnings ☐ New ☐ Repair/Replacement

Existing Material, Color and Design: _____

Proposed Material (canvas or similar material): _____ Color: _____

☐ Sample Included (Type): _____

☐ Spec Sheet Included ☐ Photo Included

4. Exterior Walls on Structure ☐ New ☐ Repair/Replacement

Existing Material, Color and Pattern: _____

Proposed Material: ☐ Brick ☐ Siding ☐ Other: _____ ☐ Paint ☐ Material Replacement

Material Type: _____ Color: _____ Pattern: _____

☐ Mortar: Color _____ Joint Pattern _____

☐ Sample Included (Type): _____

☐ Spec Sheet Included ☐ Photo Included

5. Windows ☐ New ☒ Repair/Replacement

Existing Material, Color and Pattern: _____

Proposed Material: _____ Grid Profile: _____

Grid Color: _____ Shutter Color: _____ Trim Color: _____

Location (identify location of windows and types – provide exhibit): _____

☐ Sample Included (Type): _____☐ Spec Sheet Included ☐ Photo Included**6. Doors** ☐ New ☐ Repair/Replacement

Existing Material, Color and Pattern: _____

Proposed Material: _____ Style: _____ ☐ Window (Style): _____

Door Color: _____ Trim Color: _____ Window Color: _____

Location(s) (identify location of doors and types – provide exhibit): _____

☐ Sample Included (Type): _____☐ Spec Sheet Included ☐ Photo Included**7. Roofs and Gutters** ☐ New ☒ Repair/Replacement

Existing Material, Color and Pattern: _____

Proposed Roof Material: _____ Roof Pitch _____

Proposed Roof Color and Style: _____

Proposed Gutter Material and Color: _____

Gutter Locations (provide exhibit): _____

☐ Sample Included (Type): _____☐ Spec Sheet Included ☐ Photo Included**8. Dormers** ☐ New ☐ Repair/Replacement

Existing Material, Color and Pattern: _____

Proposed Material: _____ Existing Pitch _____ New Pitch _____

Proposed Color and Style: _____ Window Color and Style: _____

☐ Sample Included (Type): _____☐ Spec Sheet Included ☐ Photo Included

9. Fences, Retaining Walls, Foundations, Decks, Porches, Screenings, Patios, Enclosures etc.

☐ New ☐ Repair/Replacement Proposed Structure Type: _____

Existing Material, Color and Design: _____ Type: _____

Proposed Material: _____ Color/Stain: _____

Proposed Pattern/Design: _____ Decorative Trim/Hardware: _____

Mortar Color: _____ Joint Pattern: _____

Porch/Deck Post(s) Size: _____ Spindle Design and Color: _____

☐ Sample Included (Type): _____

☐ Spec Sheet Included ☐ Photo Included

10. Other Exterior Improvements ☐ New ☐ Repair/Replacement

Existing Material, Color and Design: _____ Type: _____

Existing Material, Color and Design: _____ Type: _____

Lighting

Light Fixtures: Color _____ Style _____ Placement _____ ☐ Spec Sheet Included

Ramps

ADA Ramps: Color _____ Style _____ Location _____ ☐ Spec Sheet Included

Chimneys

☐ Brick ☐ Stone Color _____ Style _____ Location _____ ☐ Spec Sheet Included

Other

Material: _____ Color _____ Type _____ Location _____

Other

Material: _____ Color _____ Type _____ Location _____

Brief Description:

☐ Spec Sheet Included ☐ Photo Included



9/17/2026

Applicant Signature

Date

TOWN STAFF ONLY

Notes:



Top Rated

Shop GAF



Timberline HDZ Barkwood Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle)

★★★★★ (20177) Questions & Answers (368)

Covers 33.33 sq.ft.

BULK PRICE **\$46⁹⁷** (\$1.41 /sq.ft.)

Buy 39 or more \$42.27

Pay \$21.97 after \$25 OFF your total qualifying purchase upon opening a new card. [Apply for a Pro Xtra Credit Card](#)

- Architecturally stylish roof shingles with Lifetime Ltd. warranty
- Upgraded Shingle nailing zone with 99.9% nail placement accuracy
- Industry leading 25-year Algae Protection Shingle Warranty
- [View More Details](#)

Dale City Store

✓ 102 in stock Aisle 21, Bay 002

Color/Finish: **Barkwood**



Shop American Craftsman

35.75 in. x 41.25 in. 70 Pro Series Low-E Argon Glass Double Hung White Vinyl Replacement Window with Grids, Screen Incl

★★★★★ (419) Questions & Answers (297)

\$289⁰⁰

Pay \$264 after \$25 OFF your total qualifying purchase upon opening a new card. [Apply for a Pro Xtra Credit Card](#)

- Designed for easy window replacement
- Unique decorative exterior frame enhances curb appeal
- Durable, easy-care premium vinyl frames
- [View More Details](#)

Width (in.) x Height (in.): **35.75 x 41.25**

23.75 x 53.25	27.75 x 37.25	27.75 x 53.25	31.75 x 37.25
31.75 x 45.25	31.75 x 49.25	35.75 x 41.25	35.75 x 45.25



TOWN OF OCCOQUAN

ARCHITECTURAL REVIEW BOARD

Agenda Communication

3. Action Items	Meeting Date: September 22, 2026
5A: Resignation of Jennifer Shown from the Board	

Attachments: a. none

Submitted by: Megan Lubash
Town Clerk

Explanation and Summary:

On September 2, 2026, Jennifer Shown sent in a Letter of Resignation to Town Clerk Lubash and Town Manager Linn. She noted appreciation to have served on the Architectural Review Board and having enjoyed working and learning with her fellow board members and Town Staff.

Proposed/Suggested Motion:

"I move to accept the letter of Resignation from Jennifer Shown from September 2, 2026, as presented."

OR

Other action the Architectural Review Board deems appropriate.

Megan Lubash

From: Jennifer Shown [REDACTED]
Sent: Wednesday, September 2, 2026 11:50 AM
To: Adam Linn
Cc: Megan Lubash
Subject: Re: Architectural Review Board Meeting- Tuesday August 25, 2026, CANCELED

Chief,

Hello! I ran into Megan (cc'ed) earlier and she mentioned you wanted to speak with me about the ARB. I tried calling a couple of times, but then figured it might be easiest to just send you an email.

I think you wanted to speak with me about my attendance at the past several ARB meetings. Which admittedly, had not been stellar.

I do not think it is fair to continue serving on the ARB, especially if there are others who want to serve. Therefore, I am submitting my resignation as an Occoquan ARB alternate.

I appreciate the opportunity to have served. I learned a lot from the meetings and met the wonderful Occoquan staff and ARB members.

Please let me know if you need anything else from me.

Sincerely,
Jennifer Shown
Cell: 703-650-8988

[Sent from Yahoo Mail for iPhone](#)

On Tuesday, August 18, 2026, 11:48 AM, Megan Lubash <mlubash@occoquanva.gov> wrote:

Good morning Chair White and Board Members,

Please be informed that the ARB meeting scheduled for Tuesday, August 25, 2026, at 7:30 p.m. at Town Hall has been **canceled** due to lack of applications.

Please let me know if you have any questions and we look forward to seeing you all in September!

Cheers,

Megan Lubash

Town Clerk/Assistant Town Manager

Town of Occoquan

314 Mill Street, PO Box 195

Occoquan, VA 22125

(703) 491-1918

www.occoquanva.gov

mlubash@occoquanva.gov





TOWN OF OCCOQUAN

ARCHITECTURAL REVIEW BOARD

Agenda Communication

6. Reports	Meeting Date: September 22, 2026
6D: Sign & COA Violation Report	

Attachments: a. August & September Sign and COA Violation Report

Submitted by: Megan Lubash
Town Clerk

Explanation and Summary:

The report includes both sign and COA violations, showing the violation number, address, violation description and the status of the violation. All code violations follow the code violation standard operating procedure (SOP), including a tiered notice system of informal notices progressing to formal notice of violation letters. Most violations are resolved at the informal tier and do not necessitate a formal notice of violation and subsequent legal action.



TOWN OF OCCOQUAN

ARCHITECTURAL REVIEW BOARD

Agenda Communication

Sign & COA Violation Report August & September

9/17/2026

Title	Violation Type	Address of Violation	Date of Observation	General Description of Violation	Status
OCV-2026-028	Signage	208 Poplar Alley	3/31/2026	Sign for a closed business remaining up	RESOLVED